

# STATEMENT OF ENVIRONMENTAL EFFECTS

## KITCHEN UPGRADE WORKS 'BELLAVISTA' STAFF ACCOMODATION CHARLOTTE PASS SKI RESORT



**APRIL 2012**  
Project: 52-11

## STATEMENT OF ENVIRONMENTAL EFFECTS

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### KITCHEN UPGRADE WORKS 'BELLAVISTA' STAFF ACCOMODATION CHARLOTTE PASS SKI RESORT

This report has been prepared by:

A handwritten signature in black ink, appearing to read 'I. Pasalich'.

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**APRIL 2012**  
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**Dabyne Planning Pty Ltd**  
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## 1. INTRODUCTION

Dabyne Planning Pty Ltd has been engaged by Charlotte Pass Village Pty Ltd to prepare a Statement of Environmental Effects to accompany a Development Application to the NSW Department of Planning and Infrastructure.

The Development Application (DA) relates to the proposed alterations within the existing kitchen of the staff accommodation building, known as 'Bellavista' (also referred to as 'Cellavista').

The alterations are proposed to upgrade the existing kitchen to a commercial standard which includes installing a new mechanical ventilation system for the kitchen.

A detailed description of the proposal is provided in Section 3 of the report.

The purpose of this SEE is to:

- describe the land to which the DA relates.
- describe the form of the proposed works.
- define the statutory planning framework within which the DA is to be assessed and determined; and
- assess the proposed development against the matters for consideration listed under Section 79C(1) of the Environmental Planning and Assessment Act, 1979 (EP&A Act, 1979).

The report has been prepared in accordance with the requirements of Schedule 1 of the Environmental Planning and Assessment Regulations 2000.

## 2. THE SITE AND LOCALITY

### 2.1 Locality

The subject site is located within the Charlotte Pass Ski Resort, approximately 40kms from Jindabyne. Access to the resort is achieved via Kosciuszko Road.

The location of Charlotte Pass is illustrated in context with the regional locality below:

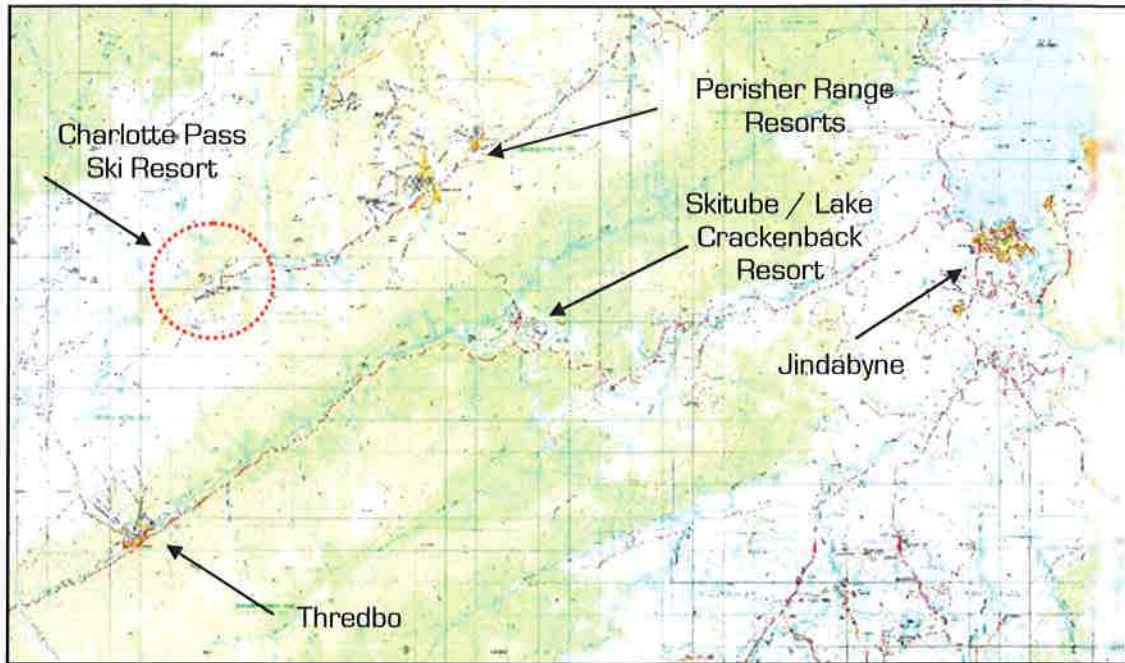


Figure 1: Context of the site within the Region

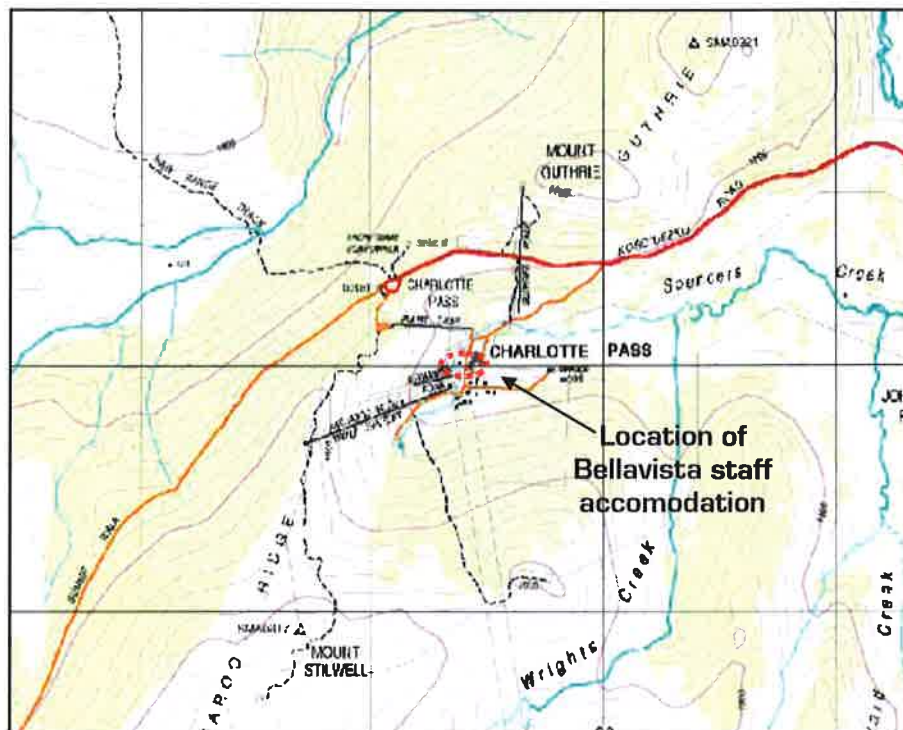


Figure 2: Context of the site within the locality

## 2.2 The Site

The proposed alterations are located within the staff accommodation building, known as 'Bellavista'.

The location of the existing kitchen is on the first floor of the building. The kitchen is utilised for employees of Charlotte Pass Ski Resort only with no food or beverage purchased on site or sold to the staff or public.

The location of the building in context with the village is illustrated in Figure 3 below:



Figure 3: Aerial photo of the location of Bellavista staff accommodation building

### 3. DESCRIPTION OF THE DEVELOPMENT

#### 3.1 Purpose of the Development

The purpose of the development is to upgrade the existing kitchen which includes installing a new mechanical ventilation system within the kitchen.

#### 3.2 General Description

The proposed alterations will not alter the existing kitchen room layout or alter any structural component (load bearing walls) of the building. The proposed alterations will also not remove or add any new walls.

The proposed works include upgrading the kitchen to a commercial standard, which includes installing a new mechanical ventilation system as well as temporary (and removable) stainless steel benches.

The new mechanical ventilation system includes a new exhaust hood, plenum duct, rising duct and exhaust fan on the roof. The new exhaust system has been designed and will be installed in accordance with the following specifications:

- *Kitchen Exhaust as per AS Ventilation Code 1668 part 2*
- *Vertical Discharge Roof Mount Exhaust Fan CYCLO V38-374-SP.*
- *Exhaust Flow 1500 lts / sec @ 100 Pascals*



## 4. ENVIRONMENTAL PLANNING ASSESSMENT

### 4.1 SECTION 79C(1)(a)(i) – ENVIRONMENTAL PLANNING INSTRUMENTS

The only applicable Environmental Planning Instrument to the proposed development and site is State Environmental Planning Policy (Kosciuszko National Park - Alpine Resorts) 2007 (SEPP Alpine Resorts). The relevant clauses contained within SEPP Alpine Resorts are addressed below:

#### Clause 11 - Land Use Table:

The land use table for Charlotte Pass Alpine Resort specifies that 'tourist accommodation' is permitted with consent. Tourist accommodation includes 'staff accommodation' which the building is used for. The proposed kitchen upgrade works within the building is to cater for staff and is therefore permitted with consent.

#### Clause 14 - Matters for consideration:

Matter for Consideration	Response
Cl.14 (1) In determining a development application that relates to land to which this Policy applies, the consent authority must take into consideration any of the following matters that are of relevance to the proposed development:	
(a) the aim and objectives of this Policy, as set out in clause 2,	<i>The proposal is for kitchen upgrade works only and will therefore achieve compliance with the objectives set out in clause 2.</i>
(b) the extent to which the development will achieve an appropriate balance between the conservation of the natural environment and any measures to mitigate environmental hazards (including geotechnical hazards, bush fires and flooding),	<i>The proposed development does not require undertaking any measures to mitigate environmental hazards that would impact on the conservation of the natural environment, as the proposed works are internal only.</i>
c) having regard to the nature and scale of the development proposed, the impacts of the development (including the cumulative impacts of development) on the following: <ul style="list-style-type: none"> <li data-bbox="252 1357 794 1473">(i) the capacity of existing transport to cater for peak days and the suitability of access to the alpine resorts to accommodate the development,</li> <li data-bbox="252 1503 794 1619">(ii) the capacity of the reticulated effluent management system of the land to which this Policy applies to cater for peak loads generated by the development,</li> <li data-bbox="252 1648 794 1738">(iii) the capacity of existing waste disposal facilities or transfer facilities to cater for peak loads generated by the development,</li> <li data-bbox="252 1767 794 1854">(iv) the capacity of any existing water supply to cater for peak loads generated by the development,</li> </ul>	<i>The proposed kitchen upgrade works will not alter or generate further impacts on any of the transport, water, waste or sewer services in the resort.</i>
(d) any statement of environmental effects required to accompany the development application for the development,	<i>This Statement of Environmental Effects satisfies this sub-clause.</i>



<p>(e) if the consent authority is of the opinion that the development would significantly alter the character of the alpine resort—an analysis of the existing character of the site and immediate surroundings to assist in understanding how the development will relate to the alpine resort,</p>	<p><i>The character of Charlotte Pass Ski Resort will not be affected or altered through the kitchen upgrade works proposed.</i></p>
<p>(f) the Geotechnical Policy—Kosciuszko Alpine Resorts (2003, Department of Infrastructure, Planning and Natural Resources) and any measures proposed to address any geotechnical issues arising in relation to the development,</p>	<p><i>Not applicable.</i></p>
<p>(g) if earthworks or excavation works are proposed—any sedimentation and erosion control measures proposed to mitigate any adverse impacts associated with those works,</p>	<p><i>Not applicable.</i></p>
<p>(h) if stormwater drainage works are proposed—any measures proposed to mitigate any adverse impacts associated with those works,</p>	<p><i>Not applicable.</i></p>
<p>(i) any visual impact of the proposed development, particularly when viewed from the Main Range,</p>	<p><i>The only external and visible component of the development is the exhaust fan on the roof which will not generate any visual impacts.</i></p>
<p>(j) the extent to which the development may be connected with a significant increase in activities, outside of the ski season, in the alpine resort in which the development is proposed to be carried out,</p>	<p><i>Not applicable.</i></p>
<p>(k) if the development involves the installation of ski lifting facilities and a development control plan does not apply to the alpine resort:</p> <ul style="list-style-type: none"> <li>(i) the capacity of existing infrastructure facilities, and</li> <li>(ii) any adverse impact of the development on access to, from or in the alpine resort,</li> </ul>	<p><i>Not applicable.</i></p>
<p>(l) if the development is proposed to be carried out in Perisher Range Alpine Resort:</p> <ul style="list-style-type: none"> <li>(i) the document entitled Perisher Range Resorts Master Plan, as current at the commencement of this Policy, that is deposited in the head office of the Department, and</li> <li>(ii) the document entitled Perisher Blue Ski Resort Ski Slope Master Plan, as current at the commencement of this Policy, that is deposited in the head office of the Department,</li> </ul>	<p><i>Not applicable.</i></p>
<p>(m) if the development is proposed to be carried out on land in a riparian corridor:</p> <ul style="list-style-type: none"> <li>(i) the long term management goals for riparian land, and</li> <li>(ii) whether measures should be adopted in the carrying out of the development to assist in meeting those goals.</li> </ul>	<p><i>Not applicable.</i></p>
<p>(2) The long term management goals for riparian land are as follows:</p>	

<p>(a) to maximise the protection of terrestrial and aquatic habitats of native flora and native fauna and ensure the provision of linkages, where possible, between such habitats on that land.</p>	<p><i>Not applicable.</i></p>
<p>(b) to ensure that the integrity of areas of conservation value and terrestrial and aquatic habitats of native flora and native fauna is maintained,</p>	<p><i>Not applicable.</i></p>
<p>(c) to minimise soil erosion and enhance the stability of the banks of watercourses where the banks have been degraded, the watercourses have been channelised, pipes have been laid and the like has occurred.</p>	<p><i>Not applicable.</i></p>
<p>(3) A reference in this clause to land in a riparian corridor is a reference to land identified as being in such a corridor on a map referred to in clause 5.</p>	

#### **4.2 SECTION 79C(1)(a)(ii) – DRAFT ENVIRONMENTAL PLANNING INSTRUMENTS**

There are no draft Environmental Planning Instruments that are applicable to the site or proposed development.

#### **4.3 SECTION 79C(1)(a)(iii) – DEVELOPMENT CONTROL PLANS**

There are no Development Control Plans applicable to the Kosciuszko Alpine Resorts under State Environmental Planning Policy (Kosciuszko National Park – Alpine Resorts) 2007.

#### **4.4 SECTION 79C(1)(a)(iii)a) – PLANNING AGREEMENTS**

There are no Planning Agreements applicable to the Kosciuszko Alpine Resorts under State Environmental Planning Policy (Kosciuszko National Park – Alpine Resorts) 2007.

#### **4.5 SECTION 79C(1)(a)(iv) – REGULATIONS**

The development application has been made in accordance with the requirements contained in Clause 50(1A) of the Environmental Planning and Assessment Regulation 2000.

#### **4.6 SECTION 79C(1)(b) – LIKELY IMPACTS**

##### **Natural Environment:**

The proposed development is located within the Bellavista staff accommodation building and therefore will have no impact on the natural environment.

##### **Built Environment:**

The proposed works are located internally only, except for the exhaust fan on the roof and therefore the impacts on the built environment will be negligible.

##### **Social and Economic impacts in the locality:**

The social and economic impacts from the development will be positive through the upgrade of the existing kitchen including improved mechanical ventilation.



Furthermore, the construction works will generate positive economic impacts through the generation of short-term construction jobs and investment in the long term future of the building.

#### **4.7 SECTION 79C(1)(c) – SUITABILITY OF THE SITE**

The subject site is considered suitable for the proposed kitchen upgrade works.

#### **4.8 SECTION 79C(1)(d) – SUBMISSIONS**

Not applicable.

#### **4.9 SECTION 79C(1)(e) – THE PUBLIC INTEREST**

The above assessment has demonstrated that the proposal satisfies the objectives and relevant clauses prescribed under State Environmental Planning Policy (Kosciuszko National Park – Alpine Resorts) 2007.

The proposed internal alterations are considered to be within the interest of the public, as they will result in an improvement to the building by upgrading the existing kitchen.

Consequently, the proposed development is considered to be within the public interest.

## **5. CONCLUSION**

The proposed development has been considered in regard Section 79C of the EP&A Act, 1979 and State Environmental Planning Policy (Kosciuszko National Park – Alpine Resorts) 2007.

The proposal has been found to be consistent with the above legislation and Environmental Planning Instrument, as detailed in the above report.

The proposed works will result in the upgrading of the kitchen within the Bellavista staff accommodation building, principally comprising of a new mechanical ventilation system.

These works represent an upgrade to the existing kitchen and building and are considered overall to be minor in both the scale and impact and are overall a positive initiative on behalf of the resort.